

MILLPOND MANOR
DESIGN GUIDELINES
(Revised October 31, 1998)

A Supplement to the Declaration
of Covenants, Conditions, and Restrictions

TABLE OF CONTENTS

I. INTRODUCTION	1
II. ARCHITECTURAL REVIEW	1
A. AREAS OF APPLICATION	1
B. SUBMISSION PROCEDURES	1
C. COMPLIANCE	3
III. SITE PLANNING	3
A. PLACEMENT	3
B. BASEMENTS AND FOUNDATIONS	3
C. GRADING AND EXCAVATING	3
D. DRAINAGE	4
E. BUILDING SETBACKS	4
F. EASEMENTS	4
G. GARAGES	4
H. DRIVEWAYS	5
I. FENCES, WALLS, AND GATES	5
1. <i>Fences</i>	5
2. <i>Walls</i>	7
3. <i>Gates</i>	7
J. STEPS AND RETAINING WALLS	7
K. SIDEWALKS AND WALKWAYS	7
L. MAILBOXES	8
M. DECKS, POOLS, SPAS, ANCILLARY	8
1. <i>Decks</i>	8
2. <i>Swimming Pools/Therapy Pools/Hot Tubs/Spas</i>	9
3. <i>Ancillary Buildings and Other Structures</i>	9
N. TENNIS COURTS	9
O. EXTERIOR LIGHTING	9
P. SOLAR ENERGY	9
Q. REMODELING AND ADDITIONS	9
R. LANDSCAPING	10
1. <i>Landscape Plan</i>	10
2. <i>Trees</i>	10
3. <i>Other Vegetation</i>	10
S. TREE PRESERVATION OR REMOVAL	11
IV. ARCHITECTURAL DESIGN AND MATERIALS	11
A. MASSING OF HOME/SCALE/PROPORTIONS	11
B. EXTERIOR ELEVATIONS AND MATERIALS	12
1. <i>Exterior Elevations</i>	12

2. <i>Repetition of Elevations</i>	12
3. <i>Exterior Materials</i>	13
C. ENTRANCES AND WINDOWS	14
1. <i>Entrances</i>	14
2. <i>Windows</i>	14
D. ROOF TREATMENT AND OVERHANGS	15
1. <i>Materials</i>	15
2. <i>Form</i>	15
3. <i>Overhangs</i>	15
4. <i>Roof Penetrations</i>	15
5. <i>Gutters & Downspouts</i>	15
6. <i>Exposed Roof Metal/Antennas</i>	16
E. CHIMNEYS	16
F. GARAGE DOORS	16
G. ADDRESS IDENTIFICATION	17
H. LIGHTING	17
1. <i>Floodlighting</i>	17
2. <i>Exterior Lighting Fixtures</i>	17
3. <i>Walkway Lighting</i>	17
I. SCREENING	17
1. <i>Wood Fences</i>	17
2. <i>Mechanical Equipment</i>	18
J. EXTERIOR COLORS	19
K. SECURITY	19
V. ENERGY CONSERVATION CONSIDERATIONS	18
VI. MODEL HOMES	19
A. MODEL HOME LAYOUT	19
1. <i>Modifications</i>	19
2. <i>Yard Lights</i>	19
3. <i>Fencing</i>	19
4. <i>Entry Sidewalks and Steps</i>	20
B. MAINTENANCE: MODEL HOME EXTERIORS AND LANDSCAPING	20
1. <i>Model Homes' Exterior</i>	20
2. <i>Landscaping</i>	20
C. MODEL HOME / BUILDER SIGNAGE	20
VII. CONSTRUCTION CONTROL	20
VIII. GUIDELINES FOR CONSTRUCTION ACTIVITY	22

I. Introduction

The housing in Millpond Manor does more than provide shelter. Each house reaches out from its site to influence the look and feel of the entire community. In order to enhance the long term value of the physical environment of our community, we have developed and implemented the Millpond Manor Design Guidelines. These guidelines are an aid in achieving our goal that each home built within our community contributes in a positive way to the character of the neighborhood and the overall surroundings. It is hoped that these guidelines will motivate builders and designers to produce innovative designs that create a strong sense of community.

The specific purposes of the Millpond Manor Design Guidelines are:

- to protect and enhance property values,
- to create an orderly and predictable basis for design review and approval of development proposals, and
- to encourage high quality design that will achieve a harmonious relationship among neighboring building and sites.

As part of the Design Guidelines, the following theme statement has been established in order to provide further design guidance to builders and designers of residences within Millpond Manor:

Out of the beautiful pine covered hills of central Georgia rises a community of new homes that makes affordable luxury a reality. Millpond Manor is creating a refined lifestyle and strong sense of community in the countryside yet remains close to the city.

II. Architectural Review

A. Areas of Application

All new construction, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the Architectural Review Committee (ARC or the "Committee") prior to commencement of any on-site building or construction activity. This approval can be secured in a timely fashion if applicable criteria specified in Sections II through Section VIII of this guide are met to the satisfaction of the Committee. The approval process can be facilitated if complete and high quality presentations of the development proposal are submitted to the Committee. The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while accommodating the needs of property owners and developers.

B. Submission Procedures

The ARC must approve the design for residences in Millpond Manor in writing before construction of a residence can begin. The Committee is committed to a high level of design quality within our communities by reviewing residential design and plotting submissions and working with our builders to achieve this goal. The Committee meets regularly to review design submittals. Submittals shall be sent to the attention of the ARC at the following address:

Architectural Review Committee
 Millpond Manor Community Association, Inc.
 2296 Forest Drive
 Jonesboro, GA 30236

The Committee requires that the final design submittal for custom home lots consist of the following:

- Site Plan/Roof Plan at a minimum scale of 1" = 20' including:
 - locations, dimensions, and material notations for walkway, driveway, decks, patios, and all other exterior flatwork including easements, setbacks, and building lines,
 - total area of all footprint areas of imperious cover as listed above including the house and garage foundation footprint,
 - proposed location, height, and material of each exterior fence or wall,
- Front Elevations at 1/4" = 1'0" scale, other elevations may be 1/8" = 1'0"; all elevations must be shown and must include:
 - notation of cornice design,
 - notation of locations of all exterior wall materials,
 - notation of roof materials,
 - notation of window types, and
 - garage door design.
- Floor Plans at a scale of 1/4" = 1'0".
- It is the builders responsibility to ensure that submitted foundation designs be structurally adequate and comply with applicable codes.
- The first page of all submittals shall be an "Application for Review and Approval of Plans" which denotes the lot number, block number, section number, Builder name, and description of all materials to be used on the building exterior. This form is available from the ARC. An address of an existing residence where a submitted material is already in use is also helpful.

The Committee will review only complete submittals. All drawings must be accurate enough to be scaled reliably.

Faxed materials will only be accepted for preliminary house design and plot plan change approvals. Any variances, however, must be requested in writing. Faxes will not be accepted in place of normal submission procedures.

The design for each residence must be approved in writing before construction of the residence can begin. Deviation from approved construction documents during construction without the Committee's approval constitutes a violation. On the Committee's authority, corrections of such deviations may be required. Notice of approval shall be in the form of a letter from the Committee to the party submitting the plans. The Committee will review submissions and make every effort to give notice of approval or disapproval within 5 working days following receipt and review of submissions. Failure to respond in 5 days shall not be deemed automatic approval. The Committee will meet regularly to process submittals.

These Design Guidelines describe a general level of conformance for development. The guidelines and the procedures set forth herein may be modified or waived from time to time by the Committee, at their discretion, and do not supersede compliance with applicable federal, state, county or local laws and regulations.

These guidelines set forth the requirements, procedures, and technical criteria used by the Millpond Manor Community Association's Architectural Review Committee for the review of site development plans and exterior building designs. Approval by the Committee does not constitute approval of or satisfaction of any governmental agency requirements. Compliance with these guidelines does not provide exemption from required state, county, or local approval procedures. Homes built within Fayette County must meet Fayette County requirements. All structures must

conform to any state or local building codes, zoning ordinances, or other governmental regulations

Neither the Primary Developer, the Committee, nor their individual members, partners, employees, agents, or the successors or assigns of any of them shall be liable in damages to anyone submitting to them for approval any plans and specification or request for variances from the Design Guidelines, or to any owner or occupant of any parcel of land affected by the Design Guidelines, or to any third party, and the submission of plans or requests constitutes an express waiver and release of these parties to the fullest extent permitted by law.

C. Compliance

All work performed within the development shall be consistent with these Design Guidelines and the review procedures outlined above. Failure to comply with these Design Guidelines and review procedures shall constitute a violation of the Declaration of Covenants, Conditions and Restrictions for Millpond Manor.

III. Site Planning

A. Placement

The placement of a house is a critical and important decision. The site plan developed for each homeowner should reflect functional needs but also be sensitive to the individual site's unique characteristics as well as the surrounding community.

When developing the site plan, extensive consideration should be given to the impact upon adjacent homesites and view corridors. Care must be taken to locate each structure, whenever possible, so as not to infringe upon adjacent structures and home sites, view

corridors and natural amenities in the area. Consideration in this regard includes:

- topography of the site and surrounding homesites,
- distant and intimate views from the homesite,
- distant and intimate views of the homesite from adjacent lots,
- prevailing breeze,
- dominant solar orientation,
- soil conditions,
- existing vegetation type and quality,
- existing water and drainage patterns,
- existing rock outcroppings,
- driveway access, and
- height of proposed and adjacent structures.

B. Basements and Foundations

All basement and foundation walls must be solid, poured concrete. Concrete block basements or foundations are not allowed. A lot must have a minimum of 4' slope within the building area to be considered suitable for a basement.

C. Grading and Excavating

It is important to remember that the beauty of Millpond Manor is the land and its natural features, and the architecture should complement and enhance this natural beauty. The design and development concepts of the community call for maximum utilization and enhancement of the existing natural environment. Each residence should be designed to work with the natural site features and existing terrain of the homesite and overall community in the best possible manner. In implementing this philosophy, it is important that moving dirt or removing dirt from any homesite be kept to an absolute minimum. No grading or excavating should be undertaken without first considering the individual site location, terrain, soil conditions, and vegetation.

Any unique, excessive, or unusual grading requirements associated with the development of a homesite should be clearly noted on the Site Plan and coordinated with the ARC.

D. Drainage

Drainage considerations for individual homesites play an important part in the ecological balance of Millpond Manor. Water runoff for each individual building site must be handled by adequately sloping all areas so that runoff can be directed to the natural drainage areas or storm drainage facilities. Water runoff and control is the responsibility of each lot owner. By creatively incorporating the drainage land into the site plan and proposed landscaping, what once might have been a site problem or constraint could possibly become an amenity.

When a home structure is in place on a given lot, positive drainage of +/- .75% to 1.0% should be maintained and should be directed away from the house. Drainage runoff onto adjoining properties should be avoided. Where natural drainage is insufficient, the construction of swales which minimize drainage impact to existing trees and vegetation are recommended. Lastly where more drastic drainage requirements exist, the use of area drains is recommended.

Regardless of what method is utilized to obtain the desired drainage, the preservation of trees will always be considered a foremost concern. Drainage must attempt to work around significant existing trees and dedicated tree preservation areas.

E. Building Setbacks

Fayette County has established minimum standards for building setbacks within Millpond Manor as shown on the subdivision plat. The setbacks required by Fayette County, however, are not to be construed as setbacks that would automatically be approved by the ARC. For aesthetic reasons, the

minimum setback requirement for specific homesites in Millpond Manor may be different.

F. Easements

Landscaping and the building of driveways or fencing within utility easements is permissible but is the responsibility of the property owner if in the future there is a need to remove same for access to such utilities. No construction, fencing, landscaping or tree removal is allowed in the landscape buffer except by permission of the ARC.

G. Garages

Each home must have a garage with a door for parking at least two cars. Garages must always be available for parking cars and shall not be used for storage or any other purpose. All boats and recreational vehicles must be enclosed in a garage or a structure designed in conjunction with the architecture of the house.

In most areas and situations, garages should be downplayed in importance to allow attention to be focused on the house versus the garage. Only side-entry garages will be permitted for homes in Millpond Manor. Garages must be located, as much as possible, on the same sides of homes for all homes on the same side of a street. Exceptions may be granted by the Committee, but the use of side by side driveway situations is generally discouraged. Exceptions will be granted if a builder provides (in writing) to the Committee at the time of submittal an acceptable reason for deviating from the desired garage location along with a buffer plan.

All homes must have garage space for minimum of two cars. A three bay garage is recommended when the residence contains 5 or more bedrooms. A 28 foot minimum back-up distance is required for the garage turnaround area with a 3 foot buffer left to the property line. All side-entry garages require adequate screening using either landscaping, a

wall, fencing or a combination of these. Guest or visitor parking areas should be provided and defined.

H. Driveways

Builders are required to build driveways out to the street curb. It is the builder's responsibility to take care in realigning the grade pattern in the flow line of the gutter per respective county regulations. Driveway slopes should not exceed a 14 % grade.

Driveways may be paved with concrete or other masonry materials that relate to the architecture of the house. This masonry material must be compatible, not only with the home, but also with any other walkways or terraces on the lot. Materials such as textured concrete, stamped concrete, colored concrete, interlocking pavers, brick border pavers, etc. are acceptable, but must be submitted to the ARC for color and design approval prior to construction.

All driveways are to be 12 feet wide at the sidewalk tapering to a minimum of 10 feet prior to transitioning to a minimum 28 foot pad area with a 10 feet by 12 feet turn out at the garage area.

All driveways shall have a minimum three feet side lot setback between the driveway and the adjacent side property line. Variances will be considered on a case by case basis. Where a side by side driveway situation is approved, adequate landscape separation between adjacent drives must be provided. When this situation must exist, it is recommended that a minimum four feet side lot setback be maintained between the driveway and the adjacent side property line to allow for the landscape treatment.

I. Fences, Walls, and Gates

In general, fences, walls, and gates should never compete with or dominate a house or its landscaping. They should be considered an extension of the architecture of the residence and a transition of the architectural mass to the natural forms of the site. Fences and walls should be considered as design elements to enclose and define courtyards, pools, and other private spaces, provide security and relate building forms to the landscape.

Consistency of style is critical within a given street, cul-de-sac, or visual area. All walls and fences should be designed to be compatible with the total surrounding environment and not block views of natural areas. As with any structure, landscaping should be considered an integral part of any scheme. This is especially critical where fences border an open-space frontage. Since fences, walls, and gates have a visual and physical impact on public views, careful consideration in construction methods and screening is crucial. Using landscaping and plant materials helps to soften the effect of hard fencing on public views. Builders must be mindful of the effect of construction methods on adjoining property.

1. Fences

The relationship of a fence to the terrain, buildings, and neighborhood is very important. For a fence to relate visually to the building, it should harmonize with it. On the other hand, it is more important for a property line fence to relate to the open topography and neighboring fences. While solid fencing can create outdoor privacy, property owners should consider its effect on natural ventilation. Adherence to the following guidelines will help address these concerns:

- It is strongly recommended that all fences be set back ten feet from the front facing wall closest to the side yard being fenced on any interior lot and interior side of a corner lot. An eight-foot setback at this location is the minimum acceptable.

- On corner lots, the fence must begin on the rear edge of the house or building line for the side of the home that is closest to the corner or on the building line (Fig. III-1).

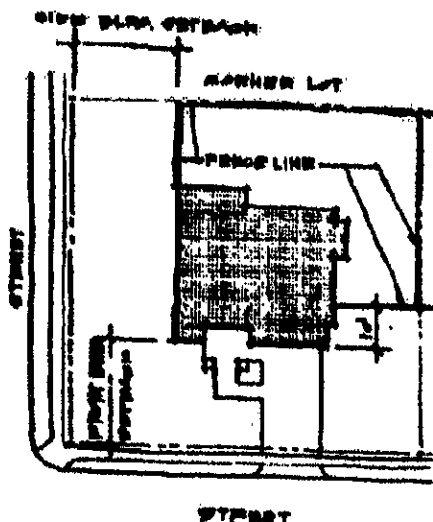


Figure III-1

- All solid or semi-transparent fences are to be constructed of quality, new, number-one or number-two grade cedar or treated pine.
- Where residential lots are located adjacent to common areas or land used by the public, the finished side of the fence should always face the non-residential use.

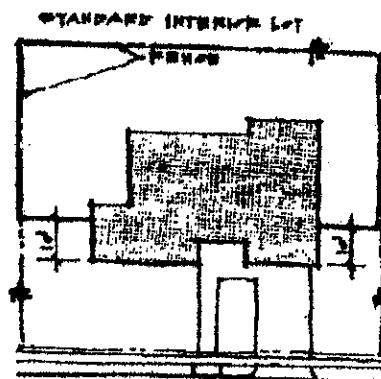


Figure III-2

- The finished or architectural side of a fence should always face the exterior or public side (street side).
- In all instances, tops of fences must be horizontal and level.
- All fences must occur within or along common property lines except at corner lots (Figure III-2).
- If the topography of the lot varies, the top of a fence should "step" up or down (stagger) as required so that the top of the fence is always level with the horizon.
- Changes in elevation at the top of fences are to occur only at normal post spacing intervals.
- Rails must be horizontal, but the bottom of slats may slope with the respective topography of the land. Tops must be horizontal.
- Wood fences must not be painted, but rather remain natural or be finished with a semi-transparent stain.
- Fences must never be stained with an opaque stain.

a. Solid Fencing

Solid fences are best used adjacent to or attached to the house as an architectural extension on typical interior lots. All solid fencing must be 1"x6" picket size. Generally, the maximum height for such a fence is six feet. The ARC may grant taller applications on a case by case basis.

A "good neighbor" fence policy is required along adjacent production home lots. Alternating sections are to occur at regular fence post intervals only, so that an entire panel is dedicated to one lot and the following panel is dedicated to the adjacent lot and so forth. In this manner, both lots receive approximately the same exposure to finished sides of a picket fence structure.

On a corner lot or a subdivision entrance, where wood fencing is utilized, solid fencing is required and must be constructed in a more finished and upgraded manner.

Subdivision entrances may require additional detail up grades. These will be determined by the Committee and communicated to the builder for each site.

b. Semi-Transparent Fencing

Semi-Transparent fences may occur adjacent to the house, but only on a property line not having public exposure. The maximum height for these fences is six feet. Semi-transparent fencing may be of a board on board, or staggered board, spaced board, etc. configuration.

c. Transparent Fencing

Chain link or wire fencing will not be permitted in Millpond Manor in areas where it can be viewed from the street or adjacent property.

2. Walls

It is recommended that walls be constructed of solid masonry or wrought iron with columns using the same materials as found in the architecture of the residence. Cross-tie timber walls may be used only if set apart from the residence. The maximum height of walls is eight feet behind the setback area at the rear of the house and six feet at the sides and from within the building setback area.

3. Gates

Where pedestrian gates are proposed, they must be constructed of a durable material which is compatible to its respective fence type. Where metal picket is proposed, care should be taken to insure that the gate does

not provide views into any unsightly areas. Such areas must be screened from public view.

J. Steps and Retaining Walls

Any proposed steps and terraces in the front yard should generally occur on or near the front property line (nearest the sidewalk) wherever possible. However, some situations may call for steps to be located closer to the home.

Construction materials allowed for steps and retaining walls are the same as those for walks. The material should be the same as, or should complement, the predominant building material, preferably brick pavers. All materials, however, must be of a masonry or concrete construction. Asphalt is strictly prohibited.

Steps must have risers no shorter than four inches and no taller than 7 1/2 inches. Treads must be at least 10 inches in length.

All retaining wall tops must be level with the horizon. Where possible, steps and walls should be contiguous within the overall design of the front yard (Figure III-3).



Figure III-3

K. Sidewalks and Walkways

Sidewalks are required along the total street frontage on each lot in Millpond Manor. The sidewalks shall meet current applicable jurisdictional requirements in size, location, handicapped requirements, construction methods, and specifications. Color of sidewalks is to be a natural grey concrete of a standard finish

The sidewalks shall maintain a common location and proceed on a parallel path with the street except where required to avoid fire hydrants, trees, or other obstacles. Millpond Manor sidewalks shall be four feet wide with a nominal three feet setback from the street. When deviating from the path parallel with the street, the sidewalk shall have a gentle curvilinear pattern. Where manholes or other such uses occur within a sidewalk area, they shall be installed to maintain a flush surface with the concrete paving.

Front walks should complement the architectural style of the home and its respective site. Walks must conform to the landscape and should not compete with the house in detail or attention. All houses must have a front walk from the driveway to the front door and may have one to the street as well. The configuration which is most sensitive to landscaping is preferred where applicable.

Front walks must be at least three feet wide but no wider than five feet. Also it is suggested that walks be at least 3 1/2 inches lower than the front entrance landing in order to help avoid possible ponding problems in the area.

Informal, meandering walks are allowed, but best lend themselves to asymmetrical house compositions. A direct frontal layout of sidewalk to curb is more appropriate in symmetrical compositions.

Concrete or other materials compatible with dominant exterior materials of the house are permitted as a walkway material. Walkway materials, however, shall be of masonry or concrete construction. Asphalt is prohibited.

L. Mailboxes

The ARC must approve the selection and construction of all mailboxes within Millpond Manor. Each mailbox design should be included in the house plan submittal and should match the house in style and composition.

M. Decks, Pools, Spas, Ancillary Buildings, Etc.

The size, shape and siting of decks, pools and other structures must be carefully designed to achieve a feeling of compatibility with the surrounding natural and man-made environment. Their location should consider the following:

- indoor/outdoor relationships,
- setbacks,
- views, both to and from, the pool or structure area
- wind,
- sun,
- terrain (grading and excavation), and
- fencing and privacy screening.

All decks, pools, ancillary buildings, and other structures are to be constructed only in the rear yard as specified in the following:

1. Decks

Decks for either pools, therapy pools, hot tubs or spas are not permitted within a utility easement. These decks may be built beyond the side setback requirements provided that a minimum of three feet is left between the deck and the property line(s) for landscaping, fencing and reserved drainage easements. Any deck system should be sensitive to the privacy of neighboring homes.

All decks shall be left to weather naturally or be stained to match house siding or trim color. Trim board should be used in all cases to conceal exposed joist ends.

If railing is required, a simple vertical picket or horizontal board railing built in a vertical plane is preferred. Other simple and straightforward designs are also permitted. If stairs are part of the deck design, the stair railing must match the deck rail. If possible, stairs should be

included within the mass of either the deck or the house.

If enclosure is desired underneath a deck area and this area is four or fewer feet above the ground level, screening may be installed, but this screening must be recessed and framed. Screening consisting of landscaping materials is strongly encouraged in all cases.

2. Swimming Pools/Therapy Pools/Hot Tubs/Spas

Pools must be constructed within the setback lines of each lot. Adequate room for landscaping should be provided. Above ground swimming pools are strictly prohibited; however, above ground spas, Jacuzzis or hot tubs are allowed provided they are screened from public view through the use of landscape or privacy fence. Otherwise, they must be part of a deck system or be skirted. The intent of these applications is to hide mechanical equipment associated with these spas or hot tubs.

Generally, swimming pool features (i.e. slides, diving boards, etc.), accessories and equipment must not be visible from public views.

3. Ancillary Buildings and Other Structures

Gazebos, play structures, storage structures, shade and other structures must be submitted to the Committee for approval prior to construction. Gazebos, arbors and shade structures must be architecturally compatible with the main house and be in compliance with applicable restrictions. Storage structures must be architecturally consistent with the style and materials of the house or actually be part of the house structure. Detached storage structures may require screening from public view.

N. Tennis Courts

Tennis courts will not be permitted on individual lots in Millpond Manor.

O. Exterior Lighting

All landscape and exterior lighting must be approved by the ARC prior to installation. The location, placement and direction of lighting should enhance the landscape and residence and not infringe upon adjacent property owners. All accent lighting should utilize low-voltage, direct-task type fixtures and be set as close to grade as possible.

P. Solar Energy

Although many of the techniques and hardware of solar energy are still in the development or experimental stage, the application of the principles of solar design should be carefully considered in the planning and construction of all residences in the community. Solar collectors must be aesthetically incorporated into the design forms when exposed and hidden from view whenever possible. Solar collection devices and skylights are restricted from the front elevation of the residence. Visible solar collector panels should be carefully designed to relate to the architectural mass on which they are placed. When collectors are placed on the roof, they should be racked at the same pitch, treated, and detailed to be as unobtrusive as possible. The Committee will discourage or require resubmittal of any collector of any size, shape, or color that is insensitively designed or located. All solar equipment should be adequately screened and treated to protect adjacent views in some fashion acceptable to the ARC.

Q. Remodeling and Additions

Remodeling and additions to existing improvements are required to follow the same guidelines as new construction. All criteria

governing site location, grading and excavating, structures, roofs, landscape and aesthetics will remain the same as the previous submittal. Of particular concern to the ARC will be setbacks, height limit, skylights and solar collectors, recreational features, lighting, antenna and satellite television. As an example, basketball backboards and goals are subject to a color and location approved by the Committee. An approval from the ARC is required for remodeling and additions just as it is for new construction.

R. Landscaping

The Millpond Manor Community has been planned utilizing the natural elements as much as possible. Various hardwoods, dogwoods, and pine trees are quite prolific within the community, and it is the intent of the ARC to maintain this landscape integrity. The determining factor of good landscape design should always be the architecture and location of the residence. The ARC will take into account various relationships of house to site, house to house, views, prevailing breeze, solar orientation, and other amenities in making decisions regarding specific landscape plans. To ensure that the overall beauty of the community is preserved and enhance, The ARC has the authority to approve or disapprove landscape plans for individual residences.

1. Landscape Plan

As described earlier in the description of the site plan, the landscape plan must be submitted and approved no later than the rough grade stage. It is encouraged that the landscape plan be submitted for approval along with the site plan approval to avoid any unnecessary delay and expense. The landscape plan must show all proposed site structures and features including drives and turnarounds, walks, patios, decks, fences, pools, spas, and any other site features. Utility, trash, air

conditioning and other visual screens should also be noted. Existing vegetation to remain should be specifically located and labeled. Accurately described on the plan will be all proposed planting as to location, type, and quality. A complete plant list is required indicating the size, quality and spacing of the proposed plantings. Areas to be mulched or sodded/seeded as a lawn should also be shown. Mulching, preferably with pine straw, is required for all planted areas and 10 feet from any structure or lawn. The mulched areas provide a smooth transition to the existing natural vegetation. [REDACTED]

2. Trees

In general, a residential homebuilder is required to incorporate into the landscape at least three trees in the front yard of each home. This applies to lots where the minimum required number of trees does not occur naturally in the front yard. Hardwood or decorative trees should be used.

The yard trees installed, or if existing, must be a minimum of three inches in diameter for hardwoods when measured 12 inches above grade. Additionally trees must a minimum height of ten feet and a minimum spread of five feet (Figure III-4). However, larger trees are encouraged.

3. Other Vegetation

In addition to the tree requirements above, individual lots must meet the following minimum landscape requirements:

- At least 10 foundation shrubs per lot should be installed in the front yard; minimum size for these shrubs is 5 gallons.
- At least 4 vertical foundation accent shrubs per lot should be installed in the front yard;

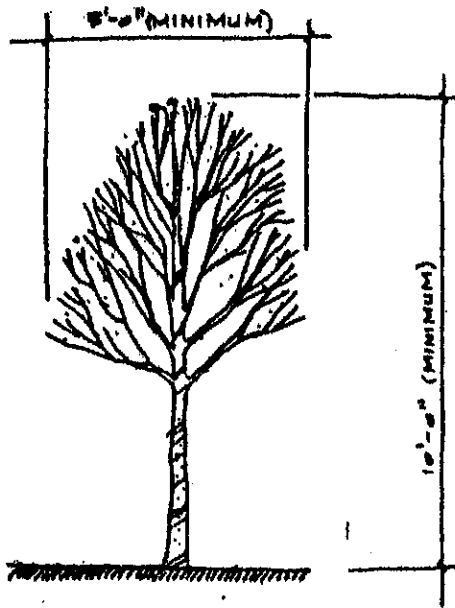


Figure III-4

minimum size for these shrubs is 10 gallons.

- Ground cover plants shall be used to cover slopes/banks.
- Primary shrub and ground cover treatment in the front yard shall be within the back third of the front yard nearest the front of the home. This is not to preclude additional landscaping in other areas of the front yard.

The above requirements should be considered the minimum standard applicable to the smallest and least expensive production homes and lots while more extensive landscaping treatment is expected for larger lots and custom homes. All homes are expected to have custom landscape treatments.

Contouring of a lot is allowed when the contours follow existing grades.

S. Tree Preservation or Removal

A fundamental portion of the design criteria is the need for gardens and lawns to harmonize

with the native vegetation, terrain, and natural beauty of the community. Throughout Millpond Manor many fine native, mature, specimen trees exist. Many are in prominent view from the streets giving them special significance. In order to take a positive step toward the recognition and protection of such trees it is recommended that trees with a trunk diameter of four inches or greater at four feet above natural grade be preserved wherever possible.

IV. Architectural Design And Materials

The general purpose of this section is to encourage variety, diversity, interest, and individuality in the homes in Millpond Manor. It is not the intent to dictate specific architectural styles that must be used within the community but rather to give property owners, their architects or designers a set of guidelines that will make the entire community a more attractive place to live.

The architectural designs should be customized for each lot to maximize the natural features that exist. Traditional styles such as Georgian, Colonial, Tudor, English Country, or French Country are preferred. Contemporary styling is also acceptable but should adhere to the same criteria as contained in these guidelines. Contractors are allowed to reduce the pitch of very steep roof designs to the minimum allowable 8/12. (Exceptions may be granted.)

A. Massing of Home/Scale/Proportions

In general, the massing of a home should be appropriately scaled to the street and the surrounding homes. The home should have reasonable variations in its massing and should avoid the "straight box" approach in all instances (Figure IV-1).

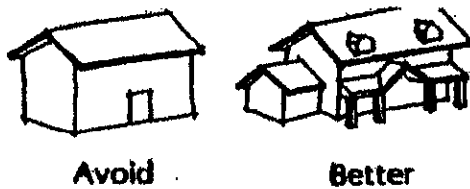


Figure IV-1

Side elevations with huge expanses on a common plane should be avoided. Relief should be provided on all elevations by providing set backs which can break down the massing where possible. Pieces of the home should be scaled appropriately to each other. Logical placement of material or texture changes can significantly help in creating appropriate massing.

B. Exterior Elevations and Materials

1. Exterior Elevations

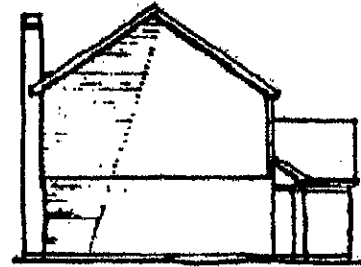
The exterior elevations of homes should be based on authentic, historical styles rather than arbitrary combinations and exaggerations of style. It is crucial that the exterior be in conformance with the project character as presented in these guidelines. A wide range of styles is permissible provided that a particular style is deemed appropriate by the Committee for a particular location.

Where a one-story home occurs next to a two-story home, it is suggested that the two-story home have a one-story element adjacent to the one-story home. Where this is not desired or possible, varying the ridge line on a two-story home helps to break up the massiveness of a continuous roof line and helps in transitioning in size from two-story homes to neighboring one-story homes.

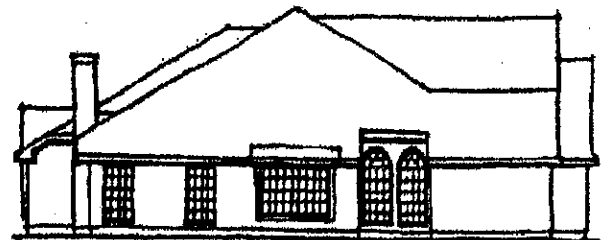
The design of exterior elevations, especially those corner lots, must not turn a "blind"

elevation to any side street frontage (Figure IV-2). Windows must occur on all street facing elevations of single family homes. This requirement helps achieve a positive character for the community since it emphasizes the importance of the home when experiencing the street scene.

If shutters or other distinct architectural elements are incorporated into the design of the home, it is recommended that they be featured on all elevations that face a street.



Avoid "blind" side street elevations.



Better

Figure IV-2

2. Repetition of Elevations

Builders proposing the construction of repetitive home designs shall carefully consider

their production model mix in order to avoid monotony, yet maintain continuity of scale and character. The intent of this guideline is to avoid the negative "look-alike" effect of frequent repetition, but still allow sufficient latitude for the builder in satisfying market demand. Builders must conform to the following:

If a plan is to be repeated with the same front elevation design, it must not occur more frequently than every sixth consecutive lot. Thus, where this situation exists, at least five other homes must occur between the next repeated front elevation. Brick and trim color in this situation must be different. It is recommended that builders develop several different front elevations for each of their plans to create a broader scope of design.

If a plan is to be repeated with a different front elevation design, it must not occur more frequently than every third lot. Thus, at least two other homes must occur between the next repeated floor plan with a different front elevation design. Brick color must also be different.

The Committee reserves the right to reject an elevation that closely resembles that of a nearby house or in any way detracts from the overall street scene. Additionally, identical uses in brick type and color, and siding color is generally prohibited on homes which are adjacent to one another. Custom homes may not be repeated within any given section.

3. Exterior Materials

The variety and number of primary exterior materials should be held to a minimum. The maximum number of exterior materials allowed is three. Generally, only two materials should be used on one house.

a. Brick

Brick shall be hard fired and have an overall appearance of relative evenness in color and texture. Painted brick may be permitted where deemed appropriate for a particular architectural style. However, such applications must be approved by the Committee prior to initiation.

b. Wood/Hardboard

◆ Siding:

Siding material shall be either wood or hardboard and must be of a horizontal, lap type. Siding may be used as the predominant building material only with the specific approval of the Committee. Diagonal siding and particle board siding are prohibited.

Siding shall be painted or stained with medium range colors that do not drastically contrast adjacent brick or other materials (dayglo colors are prohibited). Naturally weathered wood is not permitted.

Where siding is being replaced with new siding, the installation should be done with equal or better quality siding than the existing. Plans for replacing siding should include any change of trim details resulting from adding new siding.

◆ Trim:

All trim shall be smooth/semi-smooth, high quality finish grade stock wood or hardboard. Trim shall be stained or painted as approved by the Committee.

c. Stucco

Stucco, as a building material, is permitted given an appropriate style of architecture. Stucco may be used as a major building material with the approval of the Committee. The Committee has the right

to require that stucco be painted if it is not uniform in color. Smooth textured stucco is preferred over rougher textured stucco.

d. Stone

Stone is to be as approved by the Committee.

e. Synthetic Materials

Synthetic material such as metal siding, vinyl siding, and other materials which have the appearance of wood are permitted, but must be reviewed to ensure a quality appearance for approval by the Committee.

f. Material Changes

Changes in exterior wall material should have a logical relationship to the massing of the house. Material changes on a common wall plane which occur along a vertical line should be avoided wherever possible.

g. Awnings

Awnings over entrances or windows are generally discouraged and must be submitted for review by the Committee. If awnings are to be utilized and are approved, they must have a straightforward design and be consistent with the architectural style.

Awnings may occur only over wall penetrations (doors and windows). The fabric must be opaque and its color must be compatible with the existing building colors. Awning frames must be painted to match the trim or the dominant color of the building, or be painted black.

C. Entrances and Windows :

All openings in a structure such as windows and doors should relate to each other on all

elevations both vertically and horizontally. This should occur in some clearly defined order and scattered or random placements should be avoided. Both entrances and windows should be in proportion as they relate to the building mass as a whole. All sides of a home should receive equal design consideration. Reflective glass is prohibited.

1. Entrances

The main entrance should have a sense of prominence that is reflected in the design and should contain more detail than other openings but retain consistent in styling. Decorative doors are permitted as approved by the ARC.

Entrances should be a focal point of the elevation which they serve. Although two-story entry ways are allowed, the creation of a focal point at the entry through the use of human scaled entry elements is suggested. Recessed or protruded one-story elements add to the architectural detail of the home. Regardless of the scale selected, entrances should always relate to the overall architectural character and quality of the home.

2. Windows

Windows, like entrances, should be compatible with the overall building mass and architectural character and quality of the elevation. Consideration should be given to style in order to achieve an appropriate treatment (e.g. divided light for a traditional style, a clear single glass surface for contemporary). Privacy within the house should be maintained and advantage taken of garden and open space views through careful consideration of window placement.

Wood, aluminum, vinyl clad, or aluminum clad wood windows are allowable in Millpond Manor. Only clear or gray tinted glazing should be used.

If shutters are incorporated as part of the design, they should be appropriately scaled to relate to the window opening and appear authentic. They must also occur in pairs. The shutter color must harmonize with the other colors on the house. Where shutters are used on a home located on a corner lot, it is suggested that shutters occur on the side street elevation as well as the front.

Wrought iron and/or burglar bars will be considered only if the Committee determines that they are compatible with the architectural character of the home. Burglar bars over windows are generally prohibited and must be submitted to the Committee for consideration. Approval must be granted prior to installation.

If storm windows are to be utilized, they must resemble existing window frames of the home and neighborhood. They should have the same general configuration as the existing window frames if this is a replacement application. Additionally, storm windows must have a similar color value to the existing window frames of the neighborhood. Mechanical roll-down storm window boxes, if utilized, must match the window frame color of the house.

D. Roof Treatment and Overhangs

1. Materials

Approved roof materials for all homes shall be asphalt or fiberglass shingles. The "weathered wood" color manufacturer by Genstar, with a twenty year warranty, has been adopted as the standard for Millpond Manor. Owens Corning is acceptable.

2. Form

The form and massing of the roof should have a logical relationship to the style and massing of the house. Roof pitches should be within applicable codes, but generally should be 8 in 12 or steeper. It is recommended that roof

pitches be no steeper than 12 in 12 for the main body of the roof. The Committee will consider other configurations in roof forms if appropriate to the style of architecture for a particular home. However, very steeply pitched roofs, such as Mansards, which create massive roof structures are strongly discouraged.

It is recommended that the roof height not exceed 3/4 of the total elevation area for single story homes and 1/2 for two story homes.

Fascia depths should be in scale with the mass of the elevation, but the face of the fascia must be at least six inches (nominal) in size.

3. Overhangs

Overhangs should be compatible with the architecture of the home and function as shading devices. Care should be taken not to exaggerate their lengths or provide too small an overhang. It is recommended that their use be more pronounced on eave conditions while rake conditions should receive a much more moderate overhang.

4. Roof Penetrations

Roof vents, utility penetrations, or other roof protrusions shall not be visible from the front street. Generally, skylights should not be visible from the front street. An exception would be skylights that are part of the architectural style of the house and are used to enhance that style. In such cases, the ARC will determine their appropriateness.

5. Gutters & Downspouts

Gutters and downspouts, if used, should be strategically placed to minimize their visibility to the front street. Preferably, downspouts should occur only at the rear and sides of a

home. Placement on the front elevation should be avoided as much as possible, but may be used to avoid water runoff at front entrances. Gutters and downspouts must match or be very similar to the color of the surface to which they are attached.

Downspouts must be installed vertically and in a simple configuration. All gutters and downspouts must be installed so water runoff does not adversely affect adjacent properties. It is recommended that downspouts be buried or hidden in plant materials at the point where extensions carry water away from the building. For safety reasons, water runoff should never be directed directly onto sidewalks.

6. Exposed Roof Metal/Antennas

All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color. Roof and valley flashing may remain unpainted, but it is recommended that this flashing be of a pre-finished color that matches the roof color. Lacing valleys with shingles is also permitted where adequate sub-surface water protection and support is provided.

All stack vents and attic ventilators shall be located on the rear roof slopes perpendicular to the ground plane. They shall not be visible from public areas and should be placed in a location which is least visible from adjoining property.

Roof-mounted ventilators shall be no higher than 10 inches above the roof surface. Under no circumstances should any of the above mentioned items extend above the ridge line or parapet on an approved flat roof. The number and size of stack vents on the roof shall be minimized.

It is preferable that all antennas of any kind be placed within the attic space of a home. Small antennas or 18" satellite dishes may be mounted on roof tops in areas not visible from

the street if necessary for proper operation. Residents are encouraged to make use of cable services in lieu of roof mounted antennas wherever possible.

E. Chimneys

If chimneys are located on the front of a home the chimney must be brick or masonry. The chimney must also be compatible with the architecture of the house. If prefabricated metal flues are used at these locations, they should be enclosed within metal shrouds. Stucco will also be allowed as a chimney material at these locations provided that the material of the home is also stucco. The use of wood or press-board is not allowed at these locations.

If a chimney occurs in an interior portion of the roof (not an external house edge) or at the rear or non-corner side of a home, it must be constructed of materials that match the architectural style and color of the home. If prefabricated metal flues are used at these locations, they should be enclosed within metal shrouds.

All chimney construction must meet or exceed all applicable codes.

Spark arrestors and caps are required on all chimneys. The spark arrestor and cap should be unadorned, non-ornamental and designed to match or be compatible with the color and material of the exterior elevations of the home. Caps must be of metal or masonry construction. Heights of chimneys should meet all fire code requirements and be proportional to the roofline of the respective home.

F. Garage Doors

In general it is recommended that garage doors not be on the same plane as the wall on which

they are to be installed. They should be recessed (physically set back) from the front plane of their respective wall. Additionally, they should be relatively unadorned while remaining compatible with the architecture of the home and elevation. Panelized doors, however, are encouraged to help downscale the effect of a garage door. The idea is to not detract from the other more significant features of the home. Similarly, the paint or stain used on the garage doors should not draw attention, but rather blend with the overall massing of the home. If possible, the color of the garage door should be less conspicuous in tone than that of the wood trim and siding of the home.

G. Address Identification

Address identification is limited to the address number for a particular home. No street name or resident name is permitted on the exterior of the home. The address number must be placed on the side of each mailbox. The scale of the address number may vary according to the scale of the house, but may be no larger than four inches in height and must be placed in a horizontal line. No particular letter font is required, but numbers must be Arabic and made from brass.

H. Lighting

The type, color, and quality of all exterior site and house lighting must be consistent with other existing lights on the property and in the neighborhood of the respective house. Incandescent-type lighting is the norm.

1. Floodlighting

Floodlighting fixtures must be attached to the house or other architectural structure and must not illuminate adjacent public or private properties. Lights must be directed downward and shielded so that they do not create a "hot" glare spot visible to neighbors. The fixture

color and any shielding should be compatible with the building. Conduits and wiring must be concealed. Neither high-wattage, commercial/industrial-type fixtures nor sodium-vapor light sources will be approved for Millpond Manor residences.

2. Exterior Lighting Fixtures

All exterior lighting fixtures visible from the street or other public areas must be of an understated design that complements the architectural style of the residence. Fixtures shall be white incandescent, unless otherwise approved by the Committee. High intensity area lighting, such as mercury vapor or high pressure sodium is not allowed. Low level directional lighting along walkways or at sidewalks and walkway edges is encouraged. Architectural accent lighting is permissible, but must be from an incandescent source.

Colored lighting of any sort is prohibited as is the use of florescent and neon lighting (only during the Christmas season will such lighting be permitted). Mercury vapor lights, when used for special landscaping lighting effects, are permitted as long as they are hidden from view and directed up at a tree or down from a tree. Conduits and wiring must remain concealed from view of the passerby.

3. Walkway Lighting

Proposed walkway lighting should be inconspicuous and of a bollard or domelight design. The lamp may be incandescent (100 watt maximum), quartz (75 watt maximum), metal halide (75 watt maximum), or florescent (25 watt maximum).

I. Screening

1. Wood Fences

All wood fences exposed to permanent public view must be constructed in accordance with

these guidelines and screened with a combination of trees and shrubs.

2. Mechanical Equipment

All mechanical and electrical equipment (air conditioning compressors, pool compressors, etc.) must be completely screened from public view by any combination of trees, hedges, walls or fences so to not be obtrusive or offensive. Mechanical equipment must be placed so that it does not intrude visually or acoustically on neighboring property. Mechanical equipment is permitted outside of fences on side streets of corner lots if screened. Screening of this equipment must be done with landscaping. Plant materials used to provide for screening must be at a state of growth which permits immediate screening results when installed. The planting of shrubs or hedges that will eventually be successful screening devices will not suffice.

Air conditioners or heat pumps must be free-standing and located on the ground. These should be hidden or screened from other private or public property. Window units are strictly prohibited.

J. Exterior Colors

Exterior paints and stains for each residence shall be selected to complement or harmonize with the colors of the other materials with which they are used. The general intent is to encourage greater variety among homes along the street. Wood siding and trim should generally stay within the earthtone color family. The use of white is also permitted. Extremely bold colors, however, are prohibited. Yellow, blue, or green pastels are discouraged. However, soft and muted earthtone pastel colors like grey, beige, brown, salmon, etc., are acceptable. The variety and number of exterior colors on each house should be held to a maximum of three not inclusive of brick color or front door color.

Brick colors should generally be an earth tone family or range. No one brick color family should dominate a particular street scene. Repetition of brick uses should occur no more frequently than every third house for production homes and every fifth house for custom homes. Very dark colored brick is discouraged. Brick for houses on consecutive and facing lots must vary in order to avoid monotony. Variety in brick use is highly encouraged. The Committee will determine whether consecutive or relatively consecutive homes' brick, as well as trim color and field color, are similar enough to deny adjacency.

K. Security

All homes shall be pre-wired for security. Security devices such as sirens and speaker boxes should be the minimum size needed to be effective and should be located unobtrusively. As previously mentioned under the section for "Entrances and Windows", security and/or burglar bars on the exterior of homes are not permitted. If security devices are being considered for a home, the builder/owner must utilize a device which is not visible to public view and preferably mostly contained within the house.

V. Energy Conservation Considerations

This section is intended only to offer some design suggestions that will make a house more energy efficient. It will have little or no bearing on Committee approval of an overall house design. Some very basic methods to be considered during design and planning for energy conservation are:

- Floor plans that are compact and rectangular reduce the amount of exterior wall exposure and therefore enhance the thermal qualities of a home.

- Where rooms must be located on the south and west walls, it is recommended that a long wall with large glass areas in combination with deep overhangs, verandahs, or porches be utilized. Such a configuration facilitates ventilation while avoiding direct heat gain from the sun.
- Landscape extensively near windows and doors with deciduous shade trees and shrubs to provide a shield (shade) from the sun in the summer, but still allow the warmth of the sun to permeate in the winter.
- Minimize large glass areas on south and west sides of the home. Where windows are necessary, provide roof overhangs, porches, trellises, louvered windows, etc. to minimize direct heat gain. Also, using operative sash windows allows natural ventilation to occur for potential natural cooling.
- Use shade trees and landscaping in lieu of concrete patios or drives near windows to reduce radiant heat gain.

The following energy conserving equipment and materials are recommended.

- Utilize high SEER heating and cooling equipment
- Use a pilot-less furnace igniter
- Utilize a thermostat with timer capabilities.
- Utilize energy saving appliances such as washers and dryers.
- Install attic and/or ceiling fans.
- Where fireplaces are used, acquire a special circulator fireplace that uses outdoor air for combustion or one that vents heated air from the fireplace into interior rooms.
- Drop ducts into conditioned spaces below the ceiling and out of the unconditioned attic.
- Install insulation sheathing.
- Use R-30 in the ceiling and R-13 in the walls as insulating factors.

- Use metal insulated exterior doors on side and rear entries that are fully weather-stripped. Also, use storm doors and windows if possible.
- Use insulated windows.
- Caulk the bottom plate, the door and window frames, and the rough-in holes for plumbing and wiring.

VI. Model Homes

A. Model Home Layout

1. Modifications

Realizing that model homes will function as sales offices, modifications to the finished product that would actually be sold is expected. However, builders are expected to emulate as closely as possible the end product that the consumer can be expected to receive. Before sale by the builder, all modifications (e.g., front yard fencing, French doors in lieu of garage doors, floodlights, etc.) must be removed and the unit restored to its standard appearance.

2. Yard Lights

Each model should have, unless otherwise specified by the Committee, yard lights installed which will illuminate the model homes during the period from dusk to 10:00 p.m. The builder may employ other types of illumination upon approval of the ARC. However, florescent lights are not permitted anywhere on the exterior of model homes or for use in illuminating landscape.

3. Fencing

Temporary fencing on sales models will always be iron/metal material of a standard configuration where it is adjacent to front yards. Fences will always permit view of the house and into the lot from the street. Model home fences should never exceed four feet in height in the front yards of model homes. All

fence designs must be submitted to the Committee for review and approval.

4. Entry Sidewalks and Steps

All entry sidewalk steps into model homes must be highlighted with a yellow paint strip on the vertical part of the step unless there is a material change between the steps and the sidewalk leading to an entry.

B. Maintenance: Model Home Exteriors and Landscaping

1. Model Homes' Exterior

The exterior of model homes should be kept in a new and fresh condition. Doors, siding, and trim are to be kept clean and painted when necessary. If in the opinion of the Committee, areas of a model home require refurbishing, the Committee will give the respective home builder two weeks' notice in writing in which to correct the deficiencies. No material and equipment except for normal residential and/or commercial requirements and those requirements incident to construction of initial improvements may be kept on any portion of the lot. The accumulation of garbage, trash, or rubbish of any kind will not be permitted nor will the burning of these materials.

2. Landscaping

All model homes are to be landscaped including sod and/or seed and foundation plant material. Trees will be planted in accordance with prior promulgated rules of the Committee and these guidelines. Lawns must be neatly cut and trimmed. Flowerbeds must be weeded regularly and remulched at least twice annually. During the growing season (April to November), lawns will be cut at least bi-weekly and shrubs are to be pruned regularly.

C. Model Home / Builder Signage

One yard sign per lot is allowed for the purpose of advertising a particular builder's name or to advertise the property for sale or rent. No additional sign, advertisement, billboard, or advertising structure of any kind shall be displayed to public view on any lot. The only exception to this is a sign no larger than 3 square feet in area to indicate whether a model home is open and the hours of operation. This sign must be close to the front door.

The one allowable yard sign will be a maximum of 9 square feet in area on a standard lot and 18 square feet in area on a corner lot. This sign will be allowed for a period of time commensurate with the home's model or sales program only. Additionally, builders will be allowed only one builder name sign per model park. Model homes are allowed one model name sign each which includes only the model's name. These model identification signs may not exceed three square feet in surface area.

No bandit signs, banners, or flags of any kind are permitted on model homes or model home lots. Additionally, no directional builder signs, bandit signs, billboards, etc. are allowed within the community. Only the signs specified above will be permitted. The Committee has the right to remove any sign, advertisement, billboard, or advertising structure which is in violation of these restrictions. All model home signage packages must be submitted to the Committee for review.

VII. Construction Control

No permanent improvements shall be placed or constructed upon the site until all plans related to the improvements have been reviewed and approved in writing by the ARC.

There will be no tree cutting or clearing until, upon timely notification by the Committee, the

site developer and ARC designate(s) meet on-site and identify by mutual consent in conformance with the approved plans and specifications, those trees which will be preserved. These trees will be selected on the basis of location, appearance, maturity, and condition. Every consideration will be given to preserving trees. Steps will be taken to preserve trees during the construction phase.

The ARC may choose to have a designee(s) present during the clearing activity to be sure that there is adherence to the plans and specifications as approved and observation of the tree preservation identification. In that regard, the site developer will give three working days written notice prior to the commencement of any tree cutting/clearing.

The individual site developer will be responsible for determining the nature of restrictions associated with pipelines or other utilities that may cross the site. The site developer shall also be responsible for any and all damages to property adjacent to the site including but not limited to roadways by his own forces, contractor, subcontractor, etc. Materials, equipment, debris and excavated material must not be placed on adjoining site without written approval of the site owner and furnished to the ARC.

VIII. Guidelines for Construction Activity

The location and physical character of temporary structures such as construction trailers or portable buildings are subject to review and approval by the ARC. These structures and parking spaces for workers must be located within the construction site and not on adjacent streets and easements.

Construction materials are to be stored on site in an orderly manner that will not interfere with roadway traffic. Materials storage

methods and locations are subject to the review of the ARC. Streets are to be maintained in a clean condition and should be swept and cleaned at least once per week and more often if needed. Concrete trucks used for construction must be washed out on the construction site and not on the protected landscaping area.

Existing trees selected for preservation within an approved building site should be protected. The clearing of underbrush under the trees dripline should not occur until completion of construction activities.

Builders should respect a tree's protection area by avoiding the following actions:

- dumping backfill into the protected areas,
- excavating soil from the protected area,
- falling trees into the protected area,
- parking under trees,
- driving construction equipment into or through the protected area,
- stacking or storing supplies and equipment in the protected area,
- changing the site grading, thus allowing drainage to flow into or collect in the protected area,
- locating temporary construction buildings in the protected area,
- dumping of paints, thinners, and other toxic materials into the protected area.

The following general rules apply to all employees of contractors and service personnel while on Millpond Manor premises:

- 1) Contractors are required to keep the job sites as neat and clean as possible. A barrel or container must be placed on each site for trash such as bottles, cans, and lunch bags. Trash and discarded materials such as lunch bags, cans and other materials must be removed regularly. All debris stockpiled for removal should be located in

- the rear of the residence. Stockpiling of trash or any material on adjacent lots or streets is not permitted. If trash and debris on the job site becomes a noticeable problem, notification to the responsible party will be given by the ARC to clean up the site within two working days. If after the two day period the site has not been cleaned up, the ARC will have the debris removed and charge the property owner.
- 2) Proper erosion control is the responsibility of the contractor. Adequate silt fencing and gravel at the entry drive must be properly installed and maintained. The streets should be kept free of mud, silt and debris from erosion and construction traffic.
 - 3) Contractors will use only the utilities provided on the immediate site on which they are working.
 - 4) Portable toilets are the responsibility of the contractors. They should be located off of the right of way, screened from view and sanitized weekly.
 - 5) Vehicles are to be parked on one side of the street only or on the immediate site on which the contractor is working. No vehicles (cars, trucks, vans, etc.) may be left in the subdivision overnight. Construction equipment may be left on the site while needed but must be kept off of the street.
 - 6) Washing of any truck or vehicle on the street is not permitted.
 - 7) Operators of vehicles are required to see that they do not spill any damaging materials while in the community. Objects should not be thrown out of cars and trucks. If spillage does occur, it is the responsibility of the operator for a clean-up. Clean-ups done by Millpond Manor personnel will be charged to the responsible party. Please report any spills as soon as possible.
 - 8) The established speed limit within the community is 25 miles per hour for all vehicles.
 - 9) Any damages to streets and curbs, drainage inlets, street lights, street markers, mailboxes, sidewalks, walls, fences, etc. will be repaired by Millpond Manor and such costs billed to the responsible contractor.
 - 10) If any telephone, cable TV, gas, electrical, water, or other utility lines are cut, it is the responsibility party's obligation to report such an accident within thirty minutes to the utility company.
 - 11) No access across adjacent lots or landscape easements is permitted.
 - 12) Loud radios or noise will not be allowed within the community. Normal radio levels are acceptable. Do not play radios in construction.
 - 13) No contractor or service personnel will be permitted to bring pets on the property.
 - 14) Building permits are the only sign or document to be posted at a homesite during construction, except for one approved builder sign. Business signs or other forms of advertisement are not permitted. Permits are to be attached to a post in a manner protected from the elements. Trees are to be kept free of all permits and signage.

The ARC intends to enforce these regulations. Notification of violation will be sent to the responsible party and property owner defining those items not in compliance with the rules and regulations. Upon receipt of the notification, the involved parties have five working days (unless noted otherwise) to correct the situation or Millpond Manor will take the necessary actions to correct the violation. Those actions could include charging the property owner for the corrections done, withholding architectural review until the violations are amended, or, in certain cases, denying entry to contractors or personnel thereby preventing work within the community.

Millpond Manor Community Association, Inc.

Amendments to the Design Guidelines,
approved by the Board of Directors June, 2001
page 1 of 2

Regarding fences:

1. Eliminate forth bulleted paragraph under section I. Fences, Walls, and Gates, subsection 1. Fences (page 6) that reads "In all instances, tops of fences must be horizontal and level," and replace with "Tops of fences must be horizontal and level along visible street sides of the property."
2. To the paragraph two down that starts, "If the topography varies..." add "along visible street sides of the property."
3. Eliminate, "Tops must be horizontal," from the eighth bulleted paragraph.
4. Replace the ninth paragraph with, "Wood fences may only be painted to match the trim on the house or otherwise coordinate with the current, approved colors of the house." (We realize that painting puts the burden of up-keep on the homeowner, but after further discussion, so does any type of wood fence - finished or left natural.)
5. Add to paragraph 11, "or pre-finished maintenance-free material."
6. Under subparagraph (a) Solid Fencing, delete the third paragraph. We don't see why the author of DG only wanted solid fencing to be visible. We don't see a problem allowing "semi-transparent" fencing.
7. Change the first sentence of subsection (b) Semi-Transparent Fencing, to read, "Semi-transparent fences may occur adjacent to the house, according to Figures III-1 and III-2, as appropriate."

Millpond Manor Community Association, Inc.

Amendments to the Design Guidelines,
approved by the Board of Directors June, 2001
page 2 of 2

Regarding outbuildings/storage sheds/garages:

Construction of a "Shed/Storage Structure" is allowed in our neighborhood, with the following guidelines:

General placement on lot to be in the back of the house in compliance with the setbacks outlined by the county and covenants.

Size is to be a maximum of 150 square feet.

Maximum height is to be 15'-0" from the ground.

Roof is to be a gable- or hip-style with a minimum pitch of 4:12 and a maximum pitch of 8:12.

Roof shingles to be same brand and color as house.

Exterior materials and finishes to match the back of the house, with the exception of an all-brick/stucco house. In this instance a wood, vinyl or suitable siding, finished to match the house may be substituted.

If there is any siding on the house, the exterior siding on the shed/storage building must match it.

Doors may be located on either the side or the back of the building and may be either a walk-out door or a roll-up door or both.

All fronts and sides, visible from the street, must have windows and shutters, consistent with the front of the house.

All brick, stucco, siding, shutters, and trims to be the same color and style as on house.

Pre-fabricated buildings and storage sheds are not permitted.

In reference to the document, "Millpond Manor Architectural Review," dated February 3, 1999, these requirements specifically apply to "Outbuildings and Garages" which are identified as "any building greater than 150 SF." The line about size should read, "Size is to be a greater than 150 square feet (see requirements for Shed/Storage Building if smaller) and no larger than..."

All plans must be submitted to the ARC and approved prior to the start of any construction.